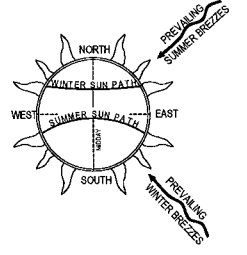
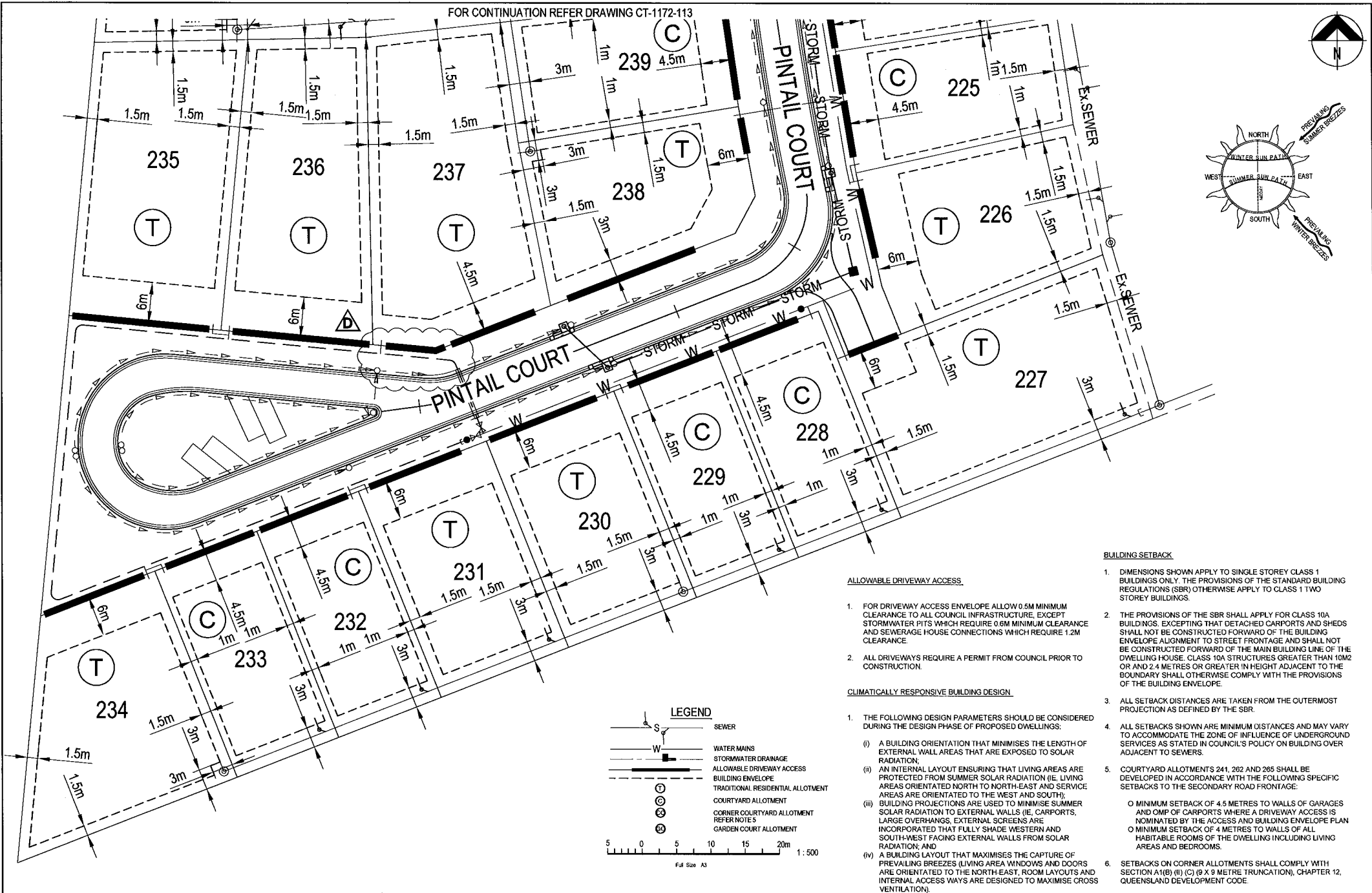


FOR CONTINUATION REFER DRAWING CT-1172-113



BUILDING SETBACK

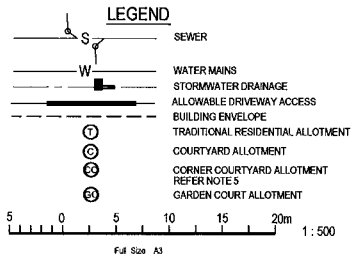
- DIMENSIONS SHOWN APPLY TO SINGLE STOREY CLASS 1 BUILDINGS ONLY. THE PROVISIONS OF THE STANDARD BUILDING REGULATIONS (SBR) OTHERWISE APPLY TO CLASS 1 TWO STOREY BUILDINGS.
- THE PROVISIONS OF THE SBR SHALL APPLY FOR CLASS 10A BUILDINGS, EXCEPT THAT DETACHED CARPORTS AND SHEDS SHALL NOT BE CONSTRUCTED FORWARD OF THE BUILDING ENVELOPE ALIGNMENT TO STREET FRONTAGE AND SHALL NOT BE CONSTRUCTED FORWARD OF THE MAIN BUILDING LINE OF THE DWELLING HOUSE. CLASS 10A STRUCTURES GREATER THAN 10M2 OR AND 2.4 METRES OR GREATER IN HEIGHT ADJACENT TO THE BOUNDARY SHALL OTHERWISE COMPLY WITH THE PROVISIONS OF THE BUILDING ENVELOPE.
- ALL SETBACK DISTANCES ARE TAKEN FROM THE OUTERMOST PROJECTION AS DEFINED BY THE SBR.
- ALL SETBACKS SHOWN ARE MINIMUM DISTANCES AND MAY VARY TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER ADJACENT TO SEWERS.
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 - MINIMUM SETBACK OF 4 METRES TO WALLS OF ALL HABITABLE ROOMS OF THE DWELLINGS INCLUDING LIVING AREAS AND BEDROOMS.
- SETBACKS ON CORNER ALLOTMENTS SHALL COMPLY WITH SECTION A1(B) (1) (C) (9 X 9 METRE TRUNCATION), CHAPTER 12, QUEENSLAND DEVELOPMENT CODE.

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- THE FOLLOWING DESIGN PARAMETERS SHOULD BE CONSIDERED DURING THE DESIGN PHASE OF PROPOSED DWELLINGS:
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 - BUILDING PROJECTIONS ARE USED TO MINIMISE SUMMER SOLAR RADIATION TO EXTERNAL WALLS (IE. CARPORTS, LARGE OVERHANGS, EXTERNAL SCREENS ARE INCORPORATED THAT FULLY SHADE WESTERN AND SOUTH-WEST FACING EXTERNAL WALLS FROM SOLAR RADIATION; AND
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No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
D	DRIVEWAY ACCESS AMENDED	JAM	[Signature]	06.12.06					
C	ROAD ALIGNMENT CHANGED	JAM	MKB	06.07.06					
B	ROAD NAMES AMENDED	JAM	MKB	13.04.06					
A	ISSUED FOR APPROVAL	JAM	MKB	03.02.06					

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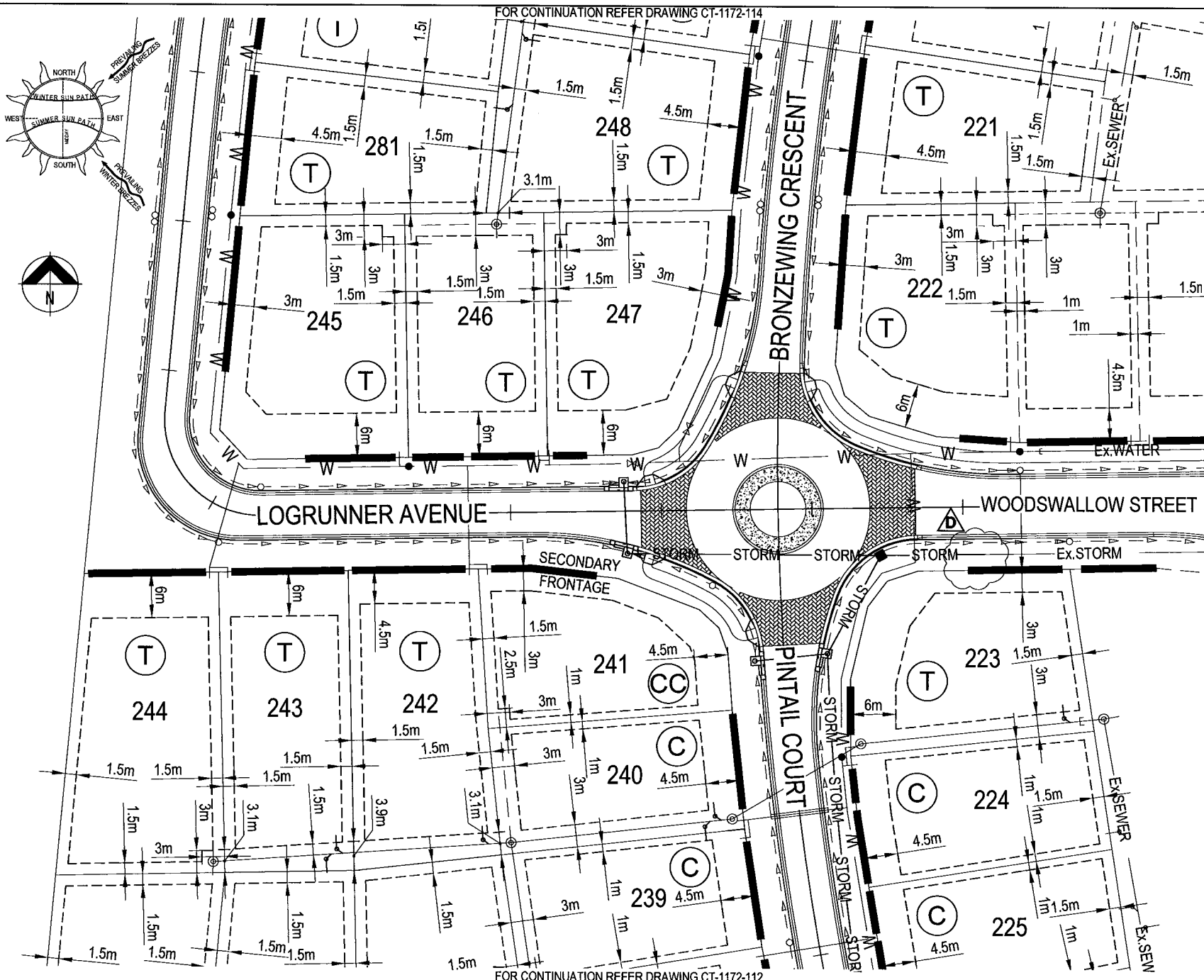


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Cairns Office: 111 Stacey Street, Cairns, QLD 4870. Ph: (07) 4235 1544, Fax: (07) 4235 1540, Email: cairns@bmd.com.au

Design	MW	Client	URBEX Pty Ltd
Drawn	JAM	Project	KALYNDA CHASE - STAGE 3
Checked	MKB	Title	ACCESS AND BUILDING ENVELOPE PLAN
Original Approved By:	MKB	Date	JAN '06
Issue No.	5555	Datum	A.H.D.

ACCESS AND BUILDING ENVELOPE PLAN
Sheet 1 of 8

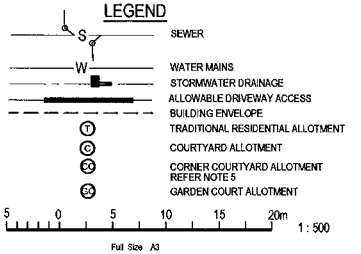
FOR APPROVAL
Drawing No. CT-1172-112
Rev D



- BUILDING SETBACK**
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No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
D	TEMP. STORMWATER MANHOLE REMOVED	JAM	[Signature]	05.12.06					
C	ROAD NAME AMENDED	JAM	[Signature]	05.07.06					
B	ROAD NAMES AMENDED	JAM	MKB	13.04.06					
A	ISSUED FOR APPROVAL	JAM	MKB	03.02.06					

FOR CONTINUATION REFER DRAWING CT-1172-112

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Structural Engineers
Project Managers
A/N 23 010 743 892

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Ph: (07) 3865 1511

Sydney Office
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Design	MW
Drawn	JAM
Checked	MKB
Original Approved By	MKB
RPEQ No.	5555
Date	JAN '06
Datum	A.H.D.

Client
URBEX Pty Ltd

Project
KALYNDA CHASE - STAGE 3

Title
ACCESS AND BUILDING ENVELOPE PLAN

Sheet 2 of 8

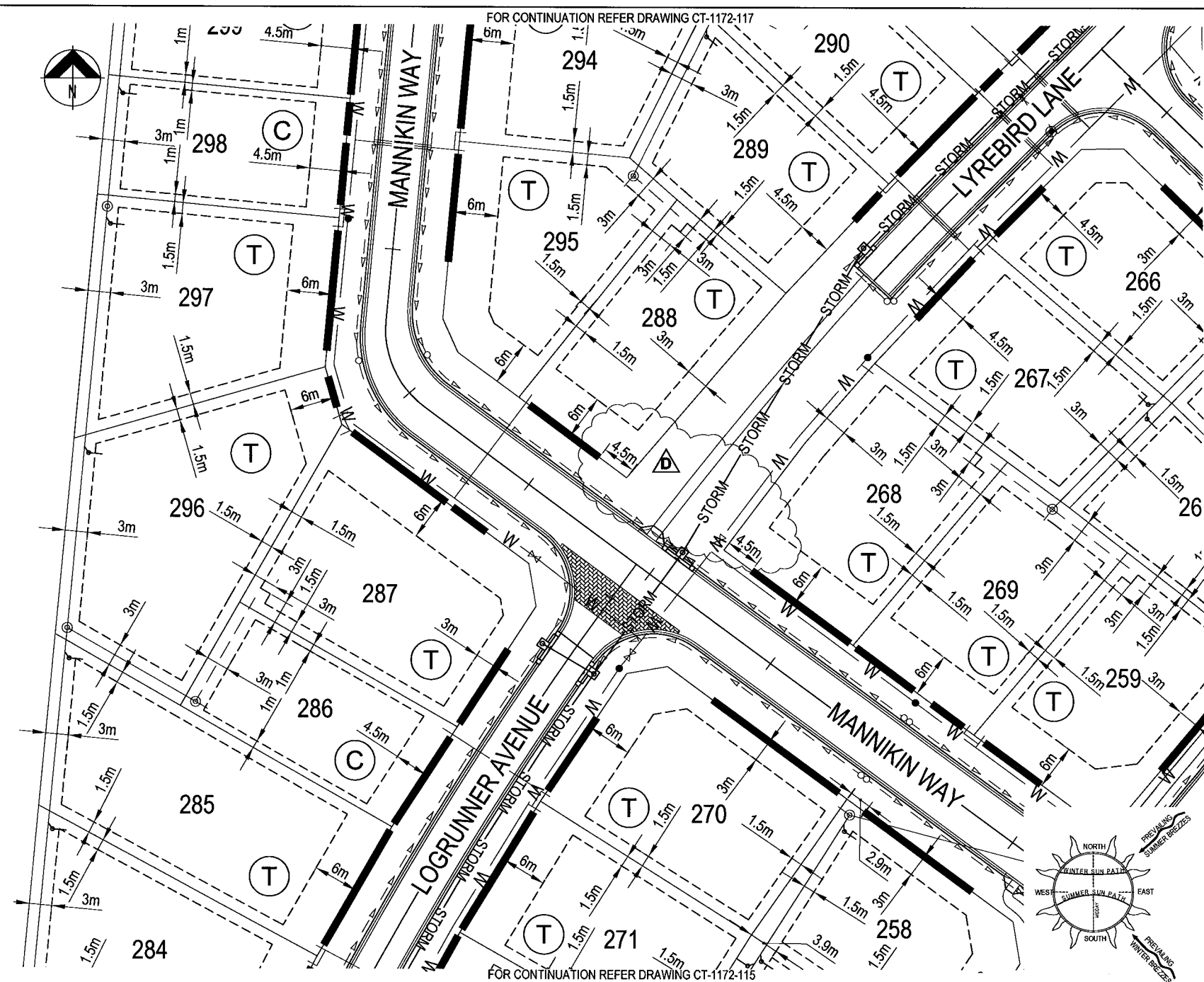
FOR APPROVAL

Drawing No.
CT-1172-113

Rev
D



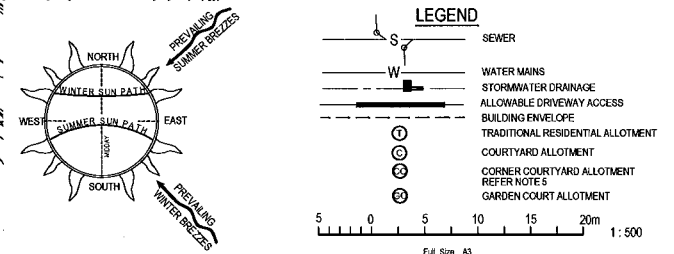
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No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
D	TRUNCATIONS REMOVED	JAM	MKB	06.12.06					
C	ROAD NAME AMENDED	JAM	MKB	06.07.06					
B	ROAD NAMES AMENDED	JAM	MKB	13.04.06					
A	ISSUED FOR APPROVAL	JAM	MKB	03.02.06					

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FOR CONTINUATION REFER DRAWING CT-1172-115

FOR CONTINUATION REFER DRAWING CT-1172-117



Civil Engineers
Structural Engineers
Project Managers
 A/N 22 010 743 692

BMD CONSULTING

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 Sydney Office: 100 Pitt Street, Sydney, NSW 2000. Ph: (02) 9688 5400

Design	MW	Client	URBEX Pty Ltd
Drawn	JAM	Project	KALYNDA CHASE - STAGE 3
Checked	MKB	Title	ACCESS AND BUILDING ENVELOPE PLAN
Original Approved By	MKB	Sheet	5 of 8
RFP/EG No.	5555	For Approval	CT-1172-116
Date	JAN '06	Rev	D
Datum	A.H.D.		

FOR APPROVAL

Drawing No. **CT-1172-116**

Rev **D**

FOR CONTINUATION REFER DRAWING CT-1172-115



BUILDING SETBACK

- DIMENSIONS SHOWN APPLY TO SINGLE STOREY CLASS 1 BUILDINGS ONLY. THE PROVISIONS OF THE STANDARD BUILDING REGULATIONS (SBR) OTHERWISE APPLY TO CLASS 1 TWO STOREY BUILDINGS.
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- SETBACKS ON CORNER ALLOTMENTS SHALL COMPLY WITH SECTION 4.1(B) (I) (C) (9 X 9 METRE TRUNCATION), CHAPTER 12, QUEENSLAND DEVELOPMENT CODE.

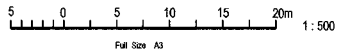
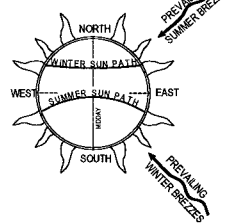
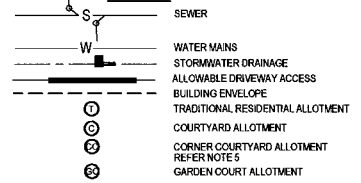
ALLOWABLE DRIVEWAY ACCESS

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LEGEND



FOR CONTINUATION REFER DRAWING CT-1172-113

No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
C	ROAD ALIGNMENT CHANGED	JAM	[Signature]	06.07.06					
B	ROAD NAMES AMENDED	JAM	MKB	13.04.06					
A	ISSUED FOR APPROVAL	JAM	MKB	03.02.06					



Civil Engineers
Structural Engineers
Project Managers
 A/N 23 010 74 692

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Head Office - Brisbane: Ph: (07) 3266 1911, email: bmd@bmdconsulting.com.au, www.bmd.com.au

Central Office - Sydney: Ph: (02) 4606 1944

Design	MWV
Drawn	JAM
Checked	MKB
Original Approved By	MKB
RPEQ No.	5555
Date	JAN '06
Datum	A.H.D.

Client: **URBEX Pty Ltd**

Project: **KALYNDA CHASE - STAGE 3**

Title: **ACCESS AND BUILDING ENVELOPE PLAN**

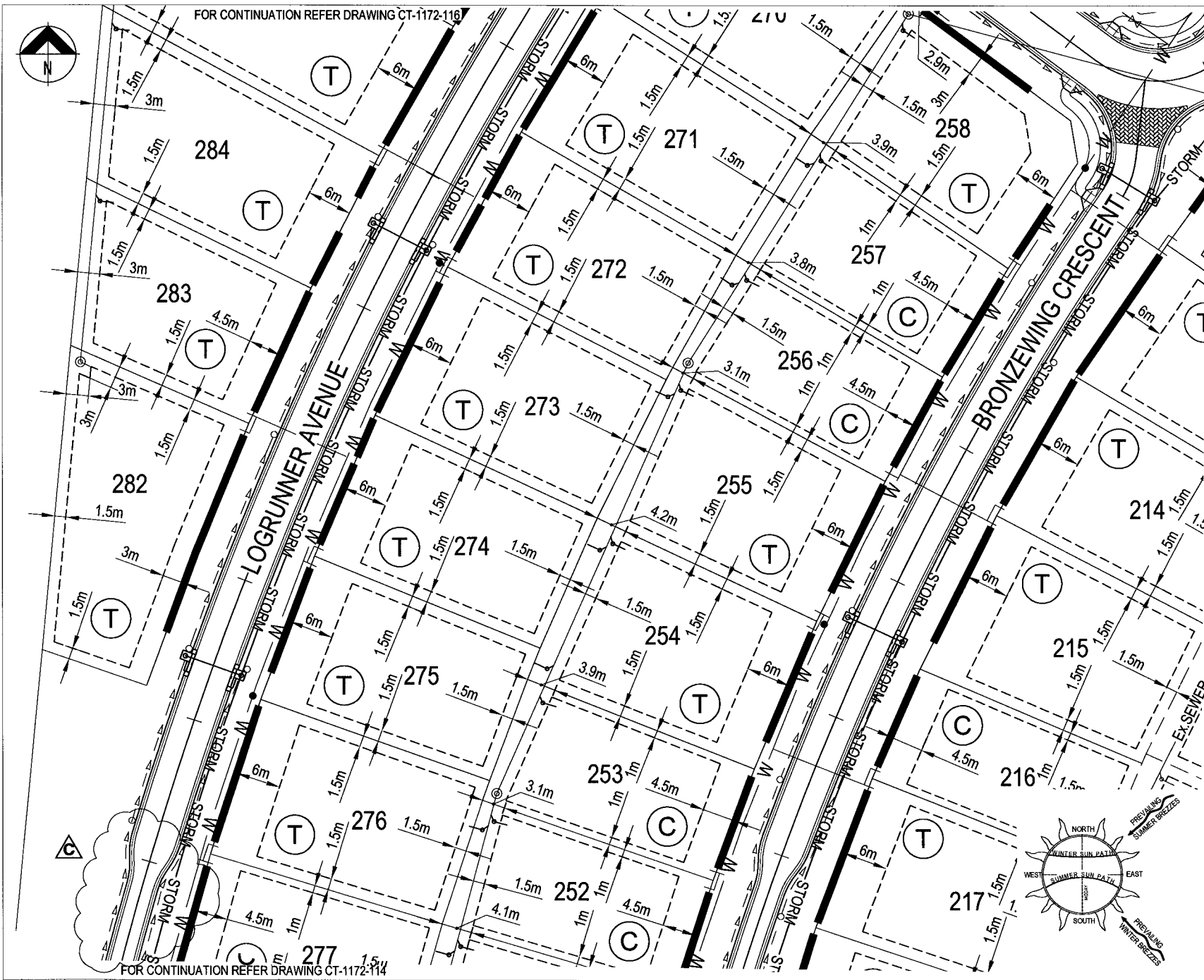
Sheet 3 of 8

FOR APPROVAL

Drawing No. **CT-1172-114**

Rev **C**

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FOR CONTINUATION REFER DRAWING CT-1172-116

FOR CONTINUATION REFER DRAWING CT-1172-114

BUILDING SETBACK

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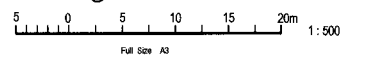
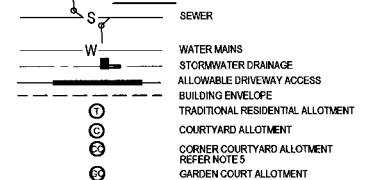
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LEGEND



No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
C	ROAD ALIGNMENT CHANGED	JAM	[Signature]	06.07.06					
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Structural Engineers
Project Managers
 JAB 23 010 743 882

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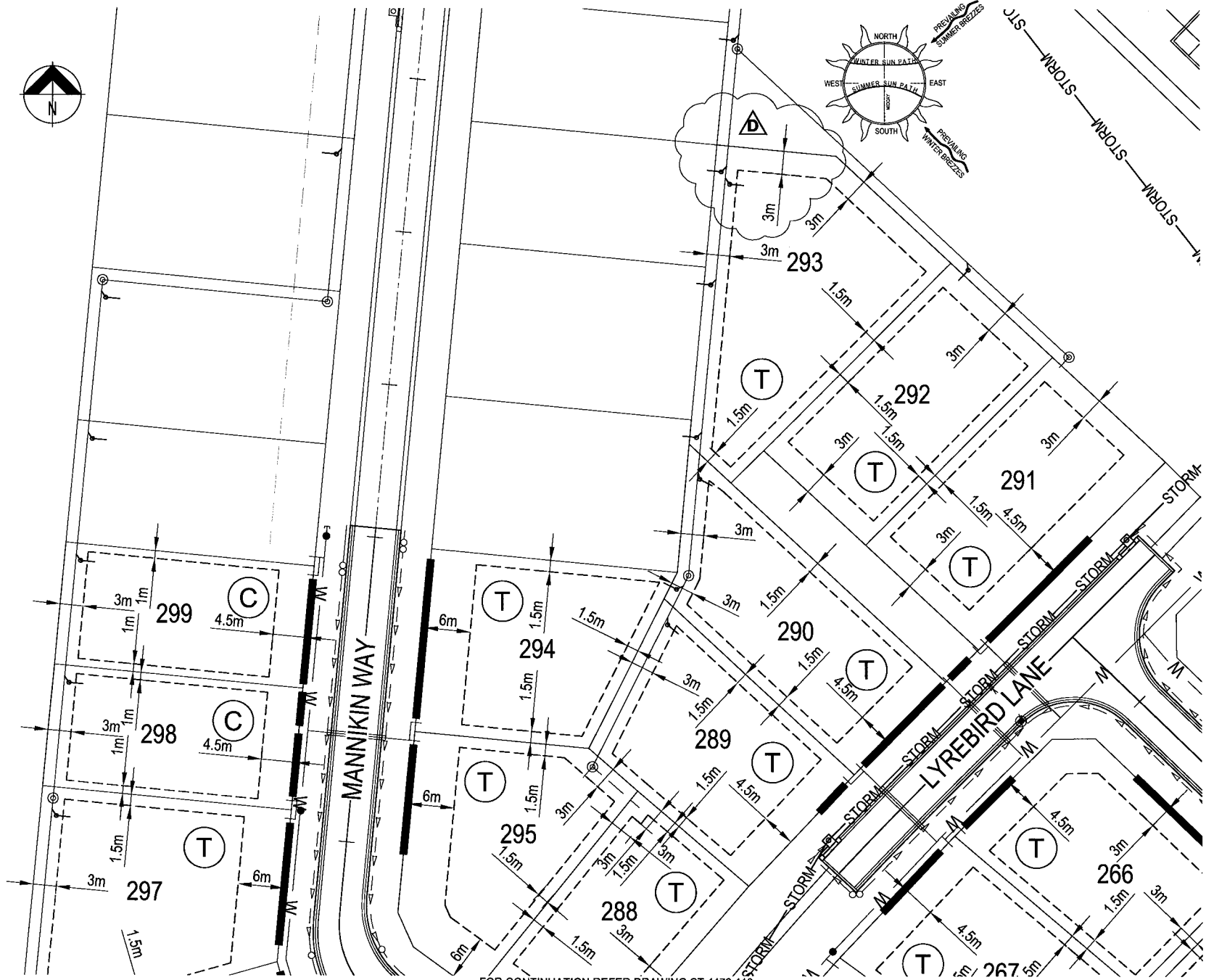
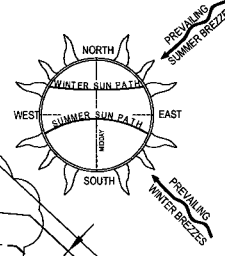
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Design	MW	Client	URBEX Pty Ltd
Drawn	JAM	Project	KALYNDA CHASE - STAGE 3
Checked	MKB	Title	ACCESS AND BUILDING ENVELOPE PLAN
Original Approved By:	MKB	Sheet 4 of 8	
RPE/Q No.	5555	FOR APPROVAL	
Date	JAN '06	Drawing No.	CT-1172-115
Datum	A.H.D.	Rev	C

URBEX Pty Ltd
KALYNDA CHASE - STAGE 3
ACCESS AND BUILDING ENVELOPE PLAN
 Sheet 4 of 8

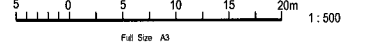
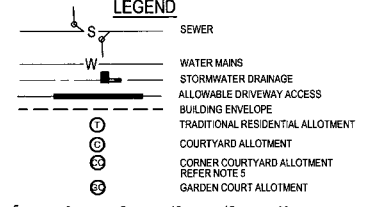
FOR APPROVAL
 Drawing No. CT-1172-115
 Rev C



- BUILDING SETBACK**
- DIMENSIONS SHOWN APPLY TO SINGLE STOREY CLASS 1 BUILDINGS ONLY. THE PROVISIONS OF THE STANDARD BUILDING REGULATIONS (SBR) OTHERWISE APPLY TO CLASS 1 TWO STOREY BUILDINGS.
 - THE PROVISIONS OF THE SBR SHALL APPLY FOR CLASS 10A BUILDINGS. EXCEPTING THAT DETACHED CARPORTS AND SHEDS SHALL NOT BE CONSTRUCTED FORWARD OF THE BUILDING ENVELOPE ALIGNMENT TO STREET FRONTAGE AND SHALL NOT BE CONSTRUCTED FORWARD OF THE MAIN BUILDING LINE OF THE DWELLING HOUSE. CLASS 10A STRUCTURES GREATER THAN 10M2 OR AND 2.4 METRES OR GREATER IN HEIGHT ADJACENT TO THE BOUNDARY SHALL OTHERWISE COMPLY WITH THE PROVISIONS OF THE BUILDING ENVELOPE.
 - ALL SETBACK DISTANCES ARE TAKEN FROM THE OUTERMOST PROJECTION AS DEFINED BY THE SBR.
 - ALL SETBACKS SHOWN ARE MINIMUM DISTANCES AND MAY VARY TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER ADJACENT TO SEWERS.
 - COURTYARD ALLOTMENTS 241, 262 AND 265 SHALL BE DEVELOPED IN ACCORDANCE WITH THE FOLLOWING SPECIFIC SETBACKS TO THE SECONDARY ROAD FRONTAGE:
 - MINIMUM SETBACK OF 4.5 METRES TO WALLS OF GARAGES AND CHIM OF CARPORTS WHERE A DRIVEWAY ACCESS IS NOMINATED BY THE ACCESS AND BUILDING ENVELOPE PLAN
 - MINIMUM SETBACK OF 4 METRES TO WALLS OF ALL HABITABLE ROOMS OF THE DWELLING INCLUDING LIVING AREAS AND BEDROOMS.
 - SETBACKS ON CORNER ALLOTMENTS SHALL COMPLY WITH SECTION A1(B) (I) (C) (8) X 9 METRE TRUNCATION), CHAPTER 12, QUEENSLAND DEVELOPMENT CODE.

- ALLOWABLE DRIVEWAY ACCESS**
- FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5M MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6M MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2M CLEARANCE.
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- THE FOLLOWING DESIGN PARAMETERS SHOULD BE CONSIDERED DURING THE DESIGN PHASE OF PROPOSED DWELLINGS:
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 - AN INTERNAL LAYOUT ENSURING THAT LIVING AREAS ARE PROTECTED FROM SUMMER SOLAR RADIATION (IE. LIVING AREAS ORIENTATED NORTH TO NORTH-EAST AND SERVICE AREAS ARE ORIENTATED TO THE WEST AND SOUTH);
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 - A BUILDING LAYOUT THAT MAXIMISES THE CAPTURE OF PREVAILING BREEZES (LIVING AREA WINDOWS AND DOORS ARE ORIENTATED TO THE NORTH-EAST, ROOM LAYOUTS AND INTERNAL ACCESS WAYS ARE DESIGNED TO MAXIMISE CROSS VENTILATION).



FOR CONTINUATION REFER DRAWING CT-1172-116

No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
D	LOT BOUNDARY AND SETBACK CHANGED	JAM	[Signature]	12.10.06					
C	LOT BOUNDARY AND SETBACK CHANGED	JAM	[Signature]	28.04.06					
B	ROAD NAMES AMENDED	JAM	MKB	13.04.06					
A	ISSUED FOR APPROVAL	JAM	MKB	03.02.06					

Civil Engineers Structural Engineers Project Managers
 ADV 23 910 143 982

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Design: MW, Drawn: JAM, Checked: MKB, Original Approved By: MKB, RPEQ No: 5655, Date: JAN '06, Datum: A.H.D.

Client: URBEX Pty Ltd

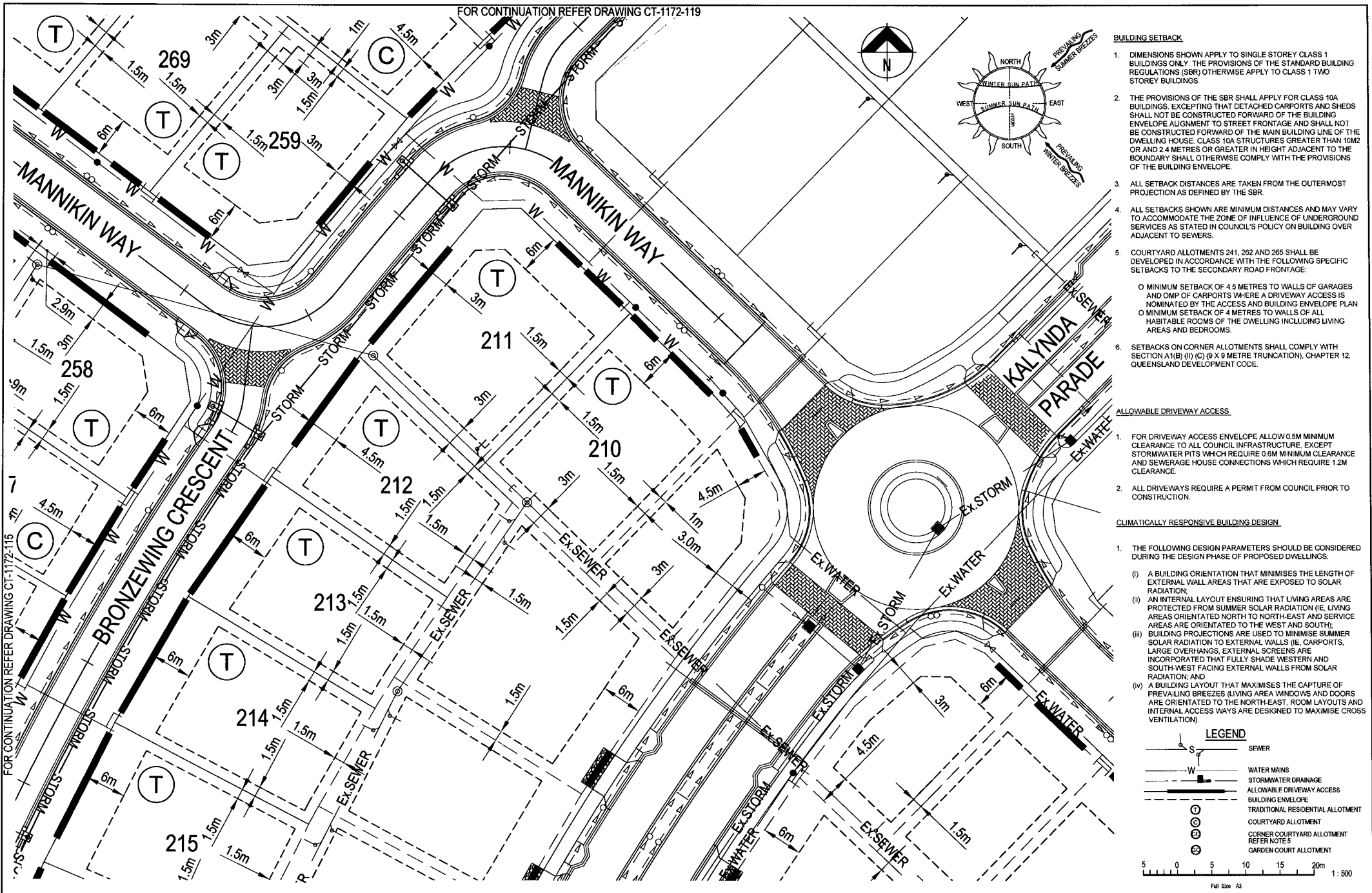
Project: KALYNDIA CHASE - STAGE 3

Access and Building Envelope Plan

Sheet 6 of 8

FOR APPROVAL
 Drawing No. CT-1172-117 Rev D

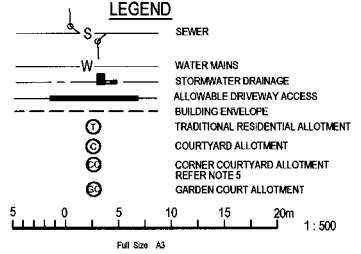
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No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
B	ROAD NAMES AMENDED	JAM	MKB	13.04.06					
A	ISSUED FOR APPROVAL	JAM	MKB	03.02.06					



Civil Engineers
Structural Engineers
Project Managers
ANN 23 010 143 682

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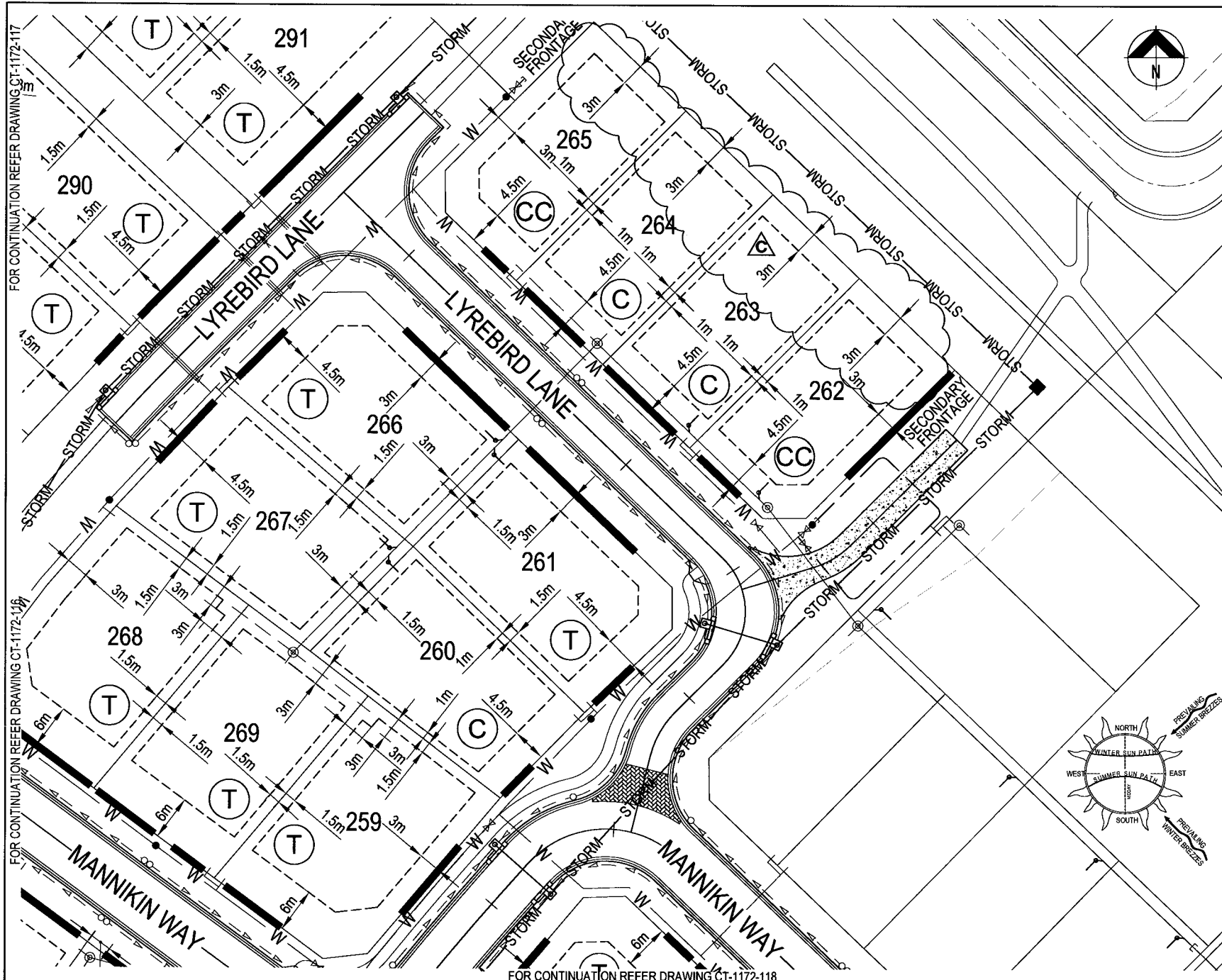
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Design	MW	Client	URBEX Pty Ltd
Drawn	JAM	Project	KALYNDA CHASE - STAGE 3
Checked	MKB	Title	ACCESS AND BUILDING ENVELOPE PLAN
Original Approved By:	MKB	Sheet 7 of 8	
RPEQ No.	5555	Drawing No.	CT-1172-118
Date	JAN '06	Rev	B
Datum	A.H.D.		

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BUILDING SETBACK

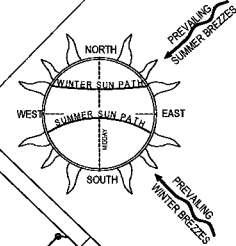
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ALLOWABLE DRIVEWAY ACCESS

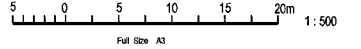
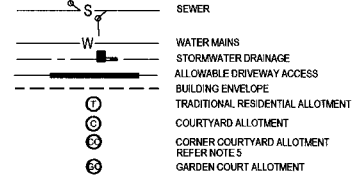
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LEGEND



FOR CONTINUATION REFER DRAWING CT-1172-117

FOR CONTINUATION REFER DRAWING CT-1172-118

FOR CONTINUATION REFER DRAWING CT-1172-118

No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
C	SETBACKS AMENDED	JAM	[Signature]	28.04.06					
B	ROAD NAMES AMENDED	JAM	[Signature]	13.04.06					
A	ISSUED FOR APPROVAL	JAM	MKB	03.02.06					

urbex

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Structural Engineers
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Design	MW	Client	URBEX Pty Ltd
Drawn	JAM	Project	KALYNDA CHASE - STAGE 3
Checked	MKB	Title	ACCESS AND BUILDING ENVELOPE PLAN
Original Approved By	MKB	Sheet	8 of 8
RIPEQ No	5555	FOR APPROVAL	Drawing No. CT-1172-119
Date	JAN '06	Rev	C
Datum	A.H.D.		

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